

SITE LAYOUT AND PAVEMENT PLAN

SCALE: 1"=20'

Owner/Developer: SYNDICATE PARTNERS LLC
 317 N. 11th Street, Suite 500, St. Louis, MO 63101, 314-241-6700

Outboundary and Topographic Survey By: FARNSWORTH GROUP
 20 ALLEN AVENUE, SUITE 200, ST. LOUIS, MO 63119, (314) 962-7000, COMPLETED 8/2005

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 LOFTWORKS, LLC 317 N. 11th STREET, SUITE 500, ST. LOUIS, MO 63101, 314-241-6700

General Notes

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- REFER TO SHEET C-2 FOR GRADING AND DRAINAGE.
- REFER TO SHEET C-3 FOR ABOVE AND BELOW GROUND SEWERS AND UTILITIES.
- REFER TO SHEET C-2 FOR EROSION CONTROL.
- ALL EXISTING IMPROVEMENTS TO REMAIN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL & PARKING STRUCTURE DRAWINGS FOR EXACT LOCATION AND DIMENSIONS OF EXISTING PORCHES, PATIOS, DRIVEWAYS, AND EXACT BUILDING UTILITY ENTRANCE LOCATION.
- THE CONTRACTOR SHALL KEEP ALL STREETS FREE FROM MUD AND DEBRIS AT ALL TIMES.
- THE CONTRACTOR SHALL SAWCUT ALL EDGES OF EXISTING PAVEMENT THAT IS TO BE REMOVED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENTS SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF ST. LOUIS.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE CONSTRUCTION ACTIVITY IN THE STREET R.O.W.S SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF ST. LOUIS STREET DEPARTMENT, WHICH ARE DETAILED ON THESE PLANS.
- ALL DETERIORATED SIDEWALK AND/OR CURB, ABANDONED DRIVEWAY ENTRANCES, SIDEWALK WITH UTILITY PATCHES; AND SIDEWALK DAMAGED, CRACKED, OR BROKEN BY CONSTRUCTION ACTIVITIES, FRONTING ON THE PROJECT PROPERTY SHALL BE REPLACED AS DIRECTED BY THE CITY OF ST. LOUIS STREET DEPARTMENT.
- EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED AS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FROM THE CITY OF ST. LOUIS FOR REMOVAL, REPLACEMENT OF SIDEWALK AND ANY PAVEMENT REPLACEMENT.
- CONTRACTOR TO PROVIDE EXPANSION JOINTS ON BOTH SIDES OF NEW DRIVEWAYS. REFER TO DETAIL SHEET C-4.
- REMOVAL AND RE-USE OF PARKING METERS TO BE COORDINATED WITH OWNER AND CONTRACTOR.
- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF EXISTING SIDEWALKS.
- BACKFILL ALL UTILITY TRENCHES WITH GRANULAR MATERIAL.
- ALL WORK FOR SANITARY AND STORM DRAINAGE FACILITIES WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT 2000 ED. "STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES."
- MAINTENANCE OF ALL SEWERS DESIGNATED AS "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT UPON DEDICATION OF THE SEWERS TO THE DISTRICT.

Keyed Notes

- NEW CONCRETE ENTRANCE PER CITY OF ST. LOUIS REQUIREMENTS.
- REMOVE AND REPLACE EXISTING PAVEMENT AS REQUIRED FOR NEW UTILITY CONSTRUCTION.
- SIDEWALK AND CURB DEMOLITION AND NEW SIDEWALK CONSTRUCTION. CONCRETE FOR FINISHED SIDEWALK TO MATCH CONCRETE SPECIFICATION AT ADJACENT NINTH STREET GARAGE.
- NEW AIR INTAKE VENT. COORDINATE EXACT LOCATION WITH THE MECHANICAL PLANS.
- NEW HANDICAPPED RAMP WITH DELEGATED WARNING PANEL.
- NEW PLANTINGS. (12 THUS) COORDINATE EXACT LOCATIONS WITH OWNER. SEE LANDSCAPE ARCHITECT'S PLAN WHICH INDICATES THE FOLLOWING SPECIES OF TREES COULD BE USED IN PLANTERS ALONG THE STREETS:
 CRABAPPLE
 AMUR MAPLE
 SERVICEBERRY
 HAWTHORN
 JAPANESE TREE LILAC
 OWNER AND CONTRACTOR TO MAKE SELECTION FROM LIST ABOVE.
 FOR LANDSCAPE ARCHITECT RECOMMENDS USING GLASS FIBER REINFORCED CONCRETE (GFRC) PLANTERS, 4'-5" WIDE BY 30" TALL. OWNER AND CONTRACTOR TO DETERMINE THE STYLE AND FINISH OF THE PLANTERS.
- EXISTING LIGHT BASE TO REMAIN AND BE RAISED TO GRADE AS NECESSARY FOR NEW SIDEWALK CONSTRUCTION.
- NEW 8" CONCRETE CURB. REFER TO DETAIL ON SHEET C-4.
- NEW 6" CONCRETE CURB. REFER TO DETAIL ON SHEET C-4.
- REBUILD NINTH STREET GARAGE CONCRETE SIDEWALK AND CURB TO ACCOMMODATE CHANGES IN GRADE.
- SEE ARCHITECTURAL PLANS FOR DETAILS.
- ADJUST INLET STONE TO NEW SIDEWALK ELEVATION.
- NEW HANDICAPPED RAMP TO GALLERY ENTRANCE. REFER TO DETAIL ON SHEET C-2, REFER TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION.
- NEW HANDICAPPED RAMP TO RETAIL ENTRANCE. REFER TO DETAIL ON SHEET C-2, REFER TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION.
- NEW MICRO-TOPPING OVER CONCRETE AT VAULT LIDS. COORDINATE GRATE REPLACEMENT WITH BUILDING OWNER AND AMENEX.
- NEW CONCRETE FINISH OVER EXISTING SIDEWALK. CONCRETE FOR FINISHED SIDEWALK TO MATCH CONCRETE SPECIFICATION AT ADJACENT NINTH STREET GARAGE.
- NEW HANDICAPPED RAMP TO VESTIBULE ENTRANCE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATIONS.
- COORDINATE TRANSITION WITH NINTH STREET GARAGE CURB AND SIDEWALK GRADES.

Abbreviations

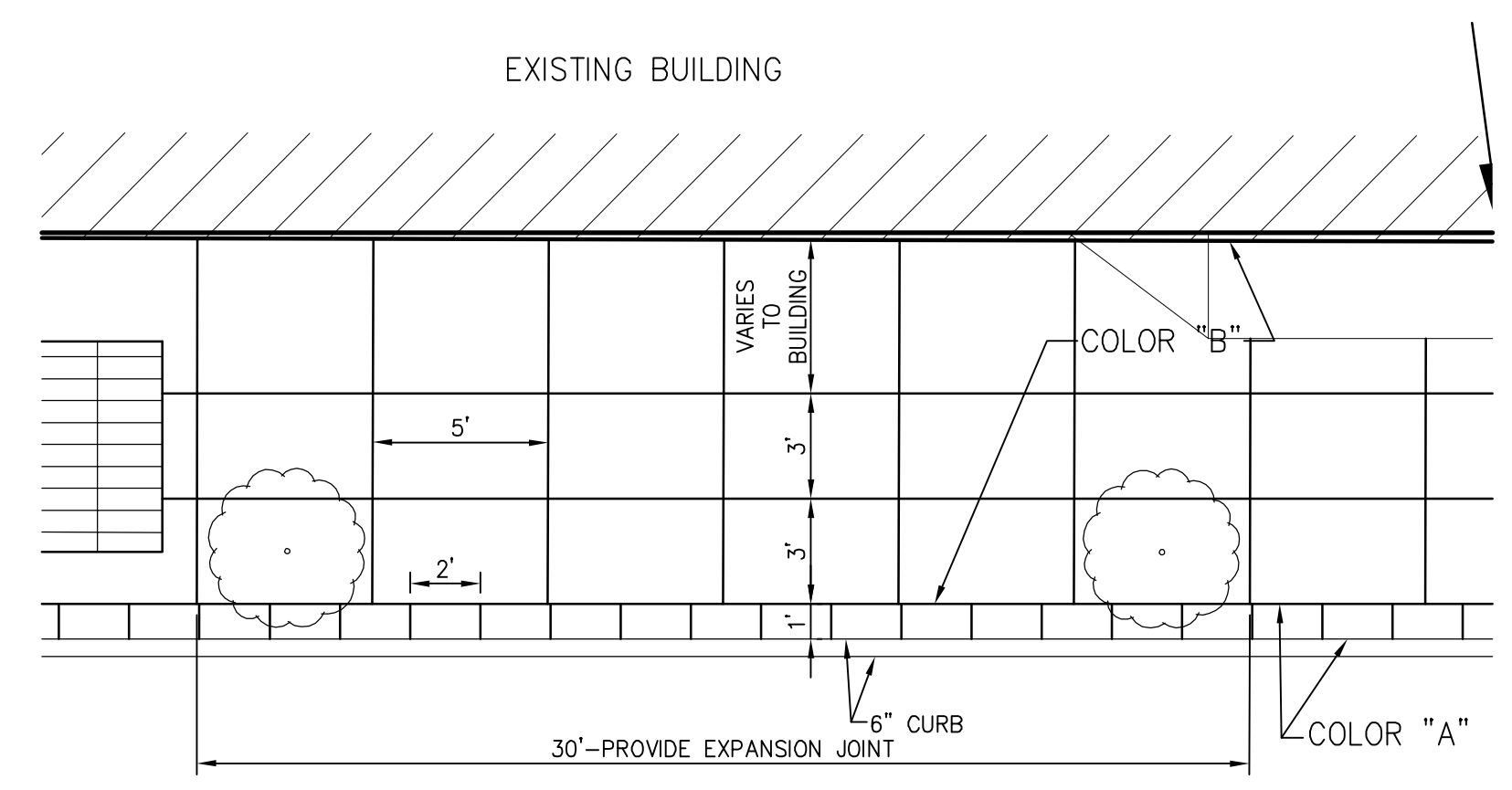
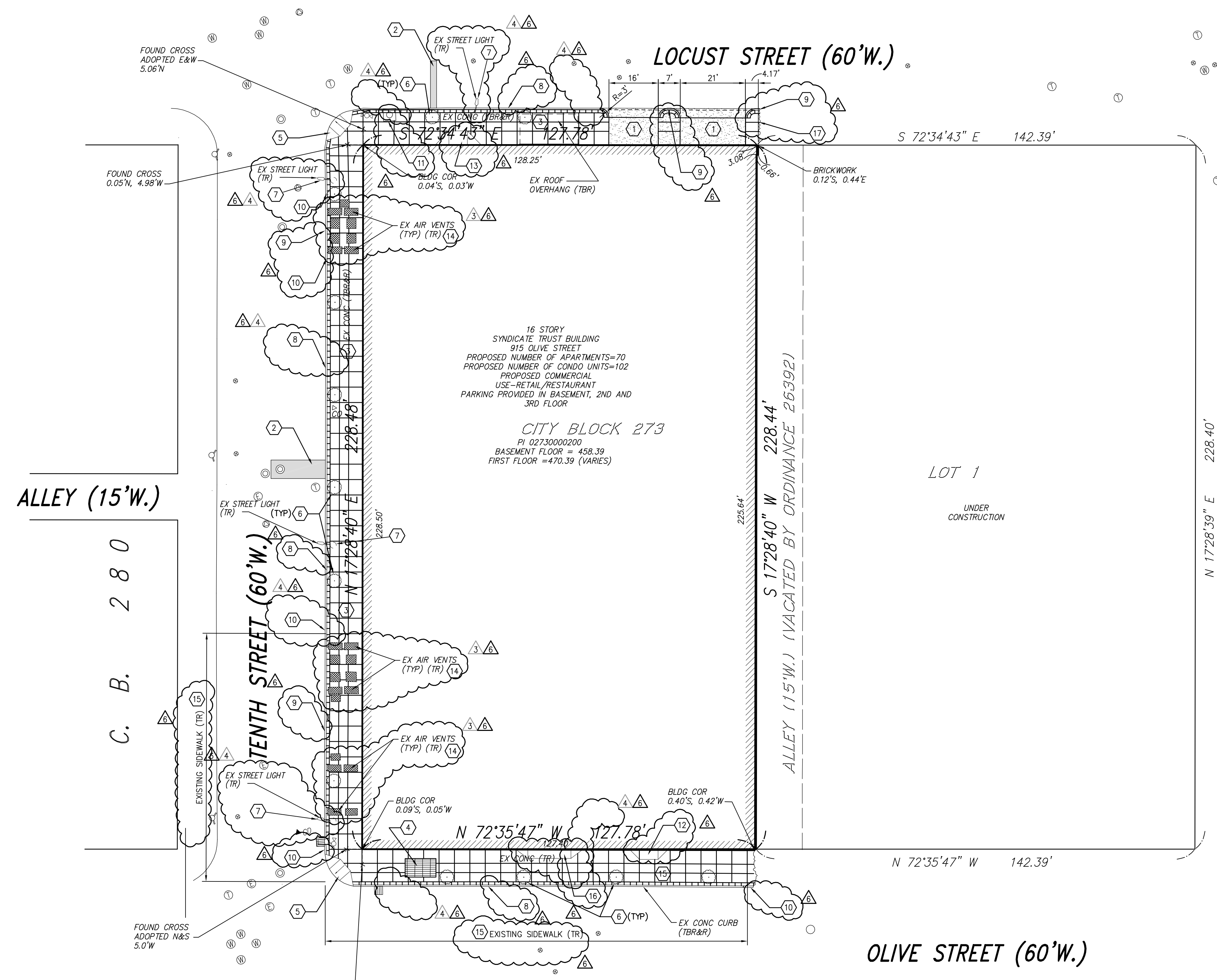
BLDG	BUILDING
CS	COMBINED SEWER
COR	CORNER
CONC	CONCRETE
CO	CLEANOUT
DB	DEED BOOK
MH	MANHOLE
PG	PAGE
SAN	SANITARY
S.F.	SQUARE FEET
STM	STORM
TYP	TYPICAL
UTIL	UTILITY
W	WIDE
N	NORTH
S	SOUTH
E	EAST
W	WEST
EX	EXISTING
TR	TO REMAIN
TBR	TO BE REMOVED
TBR&R	TO BE REMOVED AND REPLACED
ME	MATCH EXISTING

Symbols and Lines

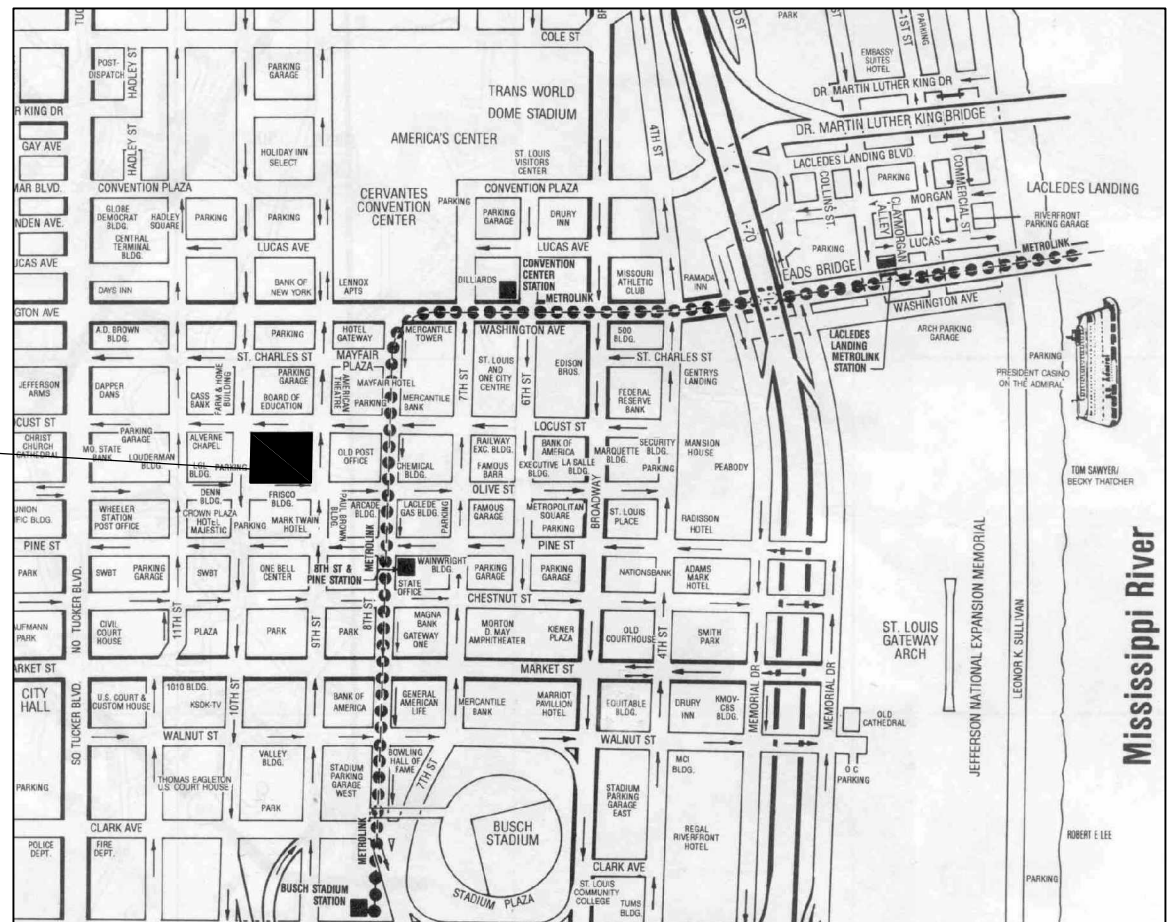
	EX STORM INLET
	EX CLEANOUT
	EX STREET LIGHT
	EX GAS DRIP
	EX GRATE INLET
	EX GAS VALVE
	EX FIRE HYDRANT
	EX UTILITY MANHOLE
	EX PARKING METER
	EX SANITARY MANHOLE
	EX COMMUNICATIONS MANHOLE
	EX ELECTRIC MANHOLE
	EX WATER MANHOLE
	EX WATER METER
	EX WATER VALVE
	EX TRAFFIC SIGNAL
	EX SPOT ELEVATION
	KEYED NOTE DESIGNATOR
	EX GAS LINE
	EX WATER LINE
	EX COMMUNICATIONS LINE
	EX STORM LINE
	EX SANITARY LINE
	EX UTILITY LINE (UNKNOWN TYPE)
	EX 5' CONTOUR
	EX 1' CONTOUR

C. B. 272

C. B. 274



TYPICAL JOINTING DETAIL
 SCALE 1"=5'
 NOTE: CONTRACTOR TO COORDINATE EXACT COLORS AND DETAILING FOR THE SIDEWALK CONCRETE WITH THE OWNER AND THE ADJACENT NINTH STREET GARAGE.



Location Plan
 N.T.S.

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- C-2 GRADING PLAN
- C-3 SEWER AND UTILITY PLAN
- C-4 SITE DETAILS

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BUILDING RENOVATION:
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No.	Revision	Description	Date
75%	PROGRESS SET		9-16-05
BID	REVIEW SET		10-26-05
FINAL	BID REVIEW SET		11-04-05
BID	SET		11-11-05
1	DEMOLITION SET		11-18-05
2	ADDENDUM #1		11-29-05
3	PERMIT/CONSTRUCTION REVIEW SET		4-07-06
4	FINAL PERMIT/CONSTRUCTION REVIEW SET		4-21-06
5	PERMIT/CONSTRUCTION SET		5-10-06
6	PROPOSAL REQUEST NO.15		2-09-07

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Layout and Pavement Plan

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