

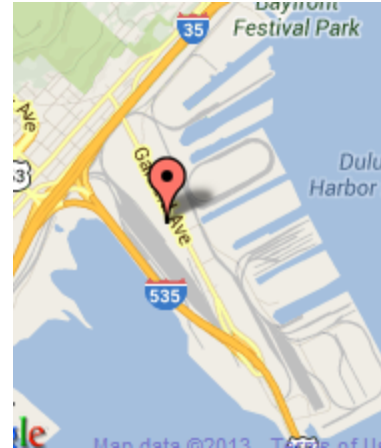
FOR SALE AND LEASE

Garfield Business Park

367 Garfield Avenue
Duluth, MN 55802



48,960 SF total



Demographics

	<u>1 Mile</u>	<u>3 Miles</u>	<u>5 Miles</u>
Population	4,135	36,352	88,013
Households	1,968	16,976	36,677
Avg HH Inc.	\$32,942	\$39,930	\$49,488
Daytime Pop.	4,935	41,751	65,092

Contact

233 Park Avenue South #201
Minneapolis, MN 55415
Sherman-Associates.com

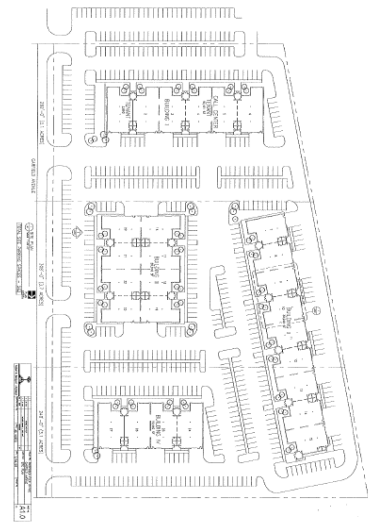
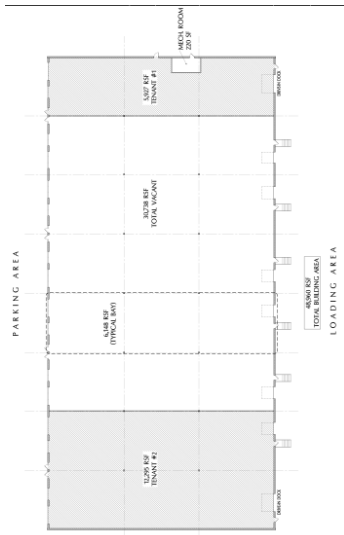
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FOR LEASE

Former Grainger Building

724 S. Third Street
Minneapolis, MN 55415



This business park is located directly at the intersection of I-35 and I-535. It has a newly constructed 48,000 SF warehouse building currently on the site with additional similar buildings planned. Up to 25 acres of land can be made available for more specific uses such as office buildings, medium box retail, etc. This site is very visible and accessible. It offers great signage opportunities. Companies can take advantage of Minnesota's JobZ program which allows for generous tax advantages for locating in this zone.



Contact



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